



**MALIBU
REBUILDS**

CITY OF MALIBU COMMUNITY MEETING SERIES
BEACHFRONT PROPERTIES

4 PM TUESDAY, MARCH 18, 2025



DEBRIS REMOVAL UPDATE



U.S. Army Corps of Engineers CA Wildfire Debris Mission

Filter by Fire
None

Est. Eligible Parcels

13,579

ROEs Accepted from County

5,240

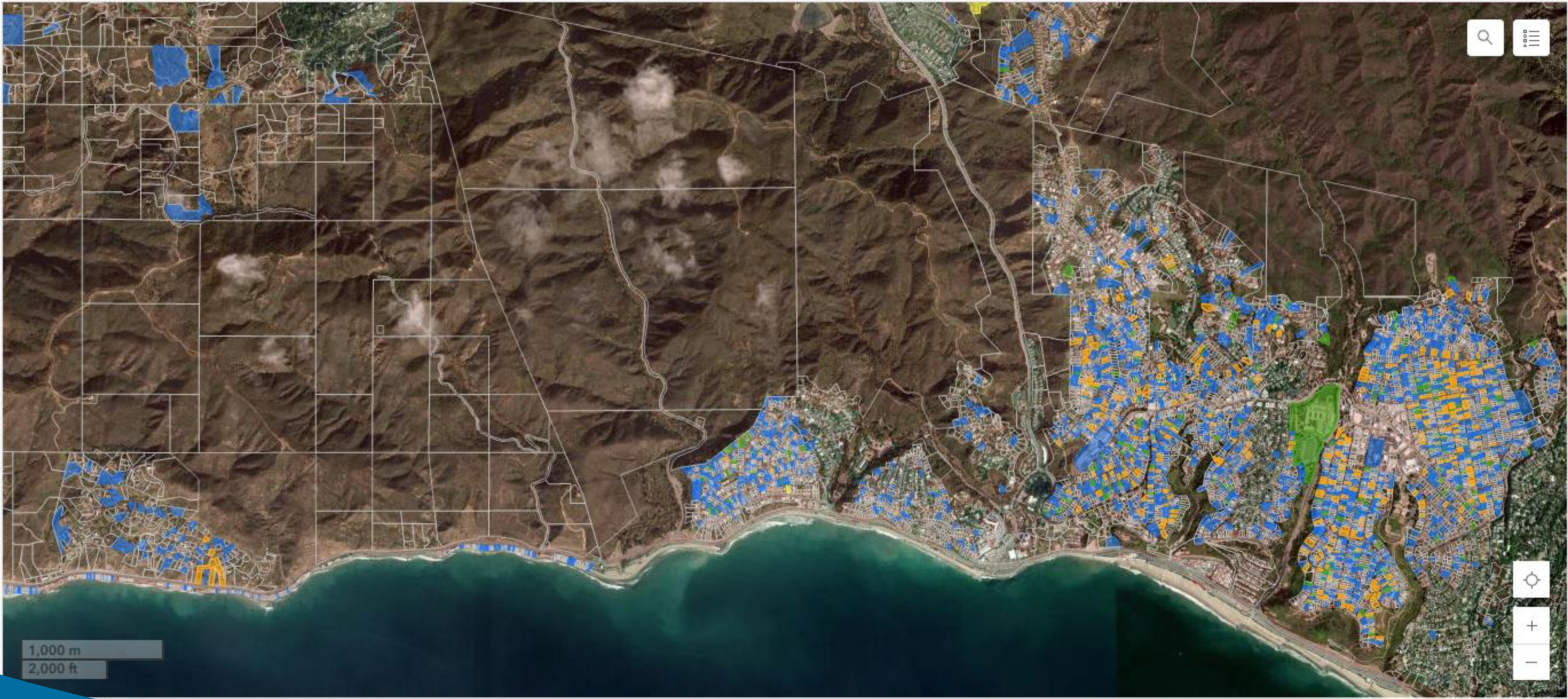
In Progress with Contractor

5,240

Final Sign Off

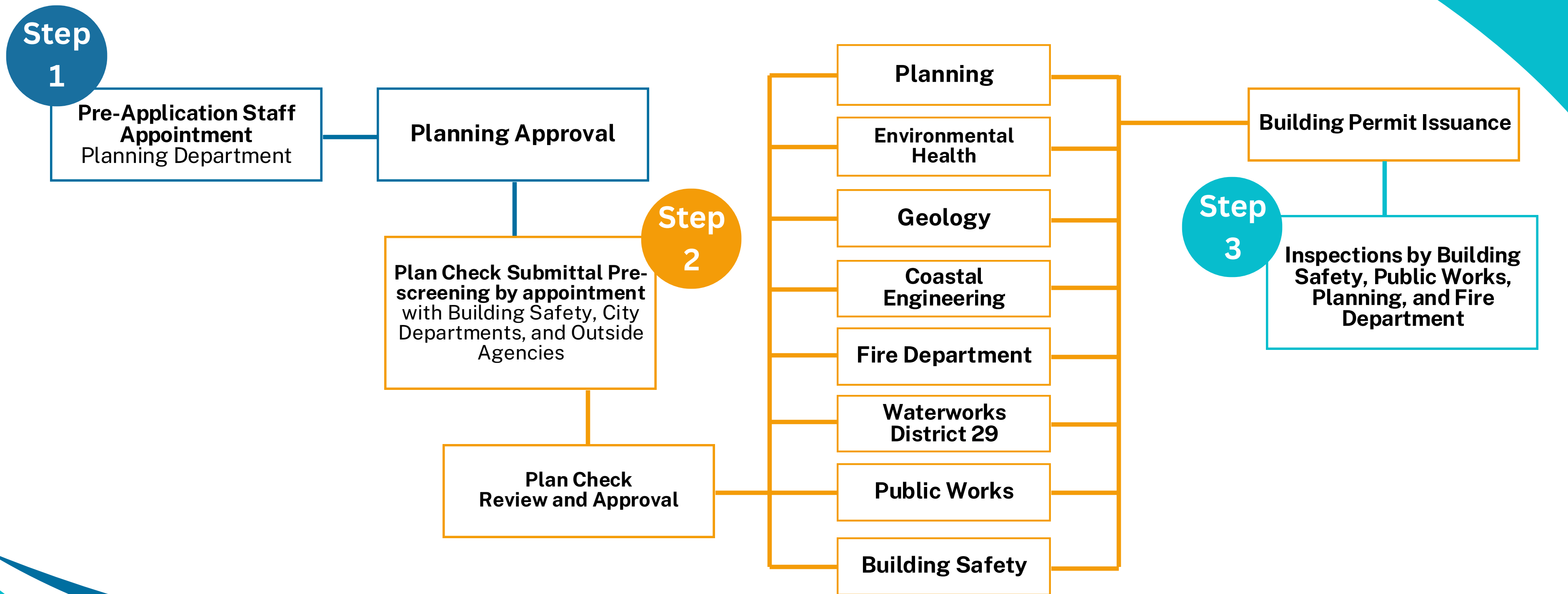
440

3%



3 STEP PROCESS FOR APPROVAL AND PERMITTING





STREAMLINED PROCESS

- Coastal Engineering and Public Works pre-screen of PV* to identify constraints
- Possible reuse of existing OWTS components
- Combined Coastal & Geotechnical Plan Check reviews
- Multi-Parcel Geotechnical Reports are acceptable
- Multi-Parcel Coastal Engineering Reports are acceptable
- Temporary shoring is exempt from a CDP*
- No excavation permit required for exploration

*PV = Planning Verification

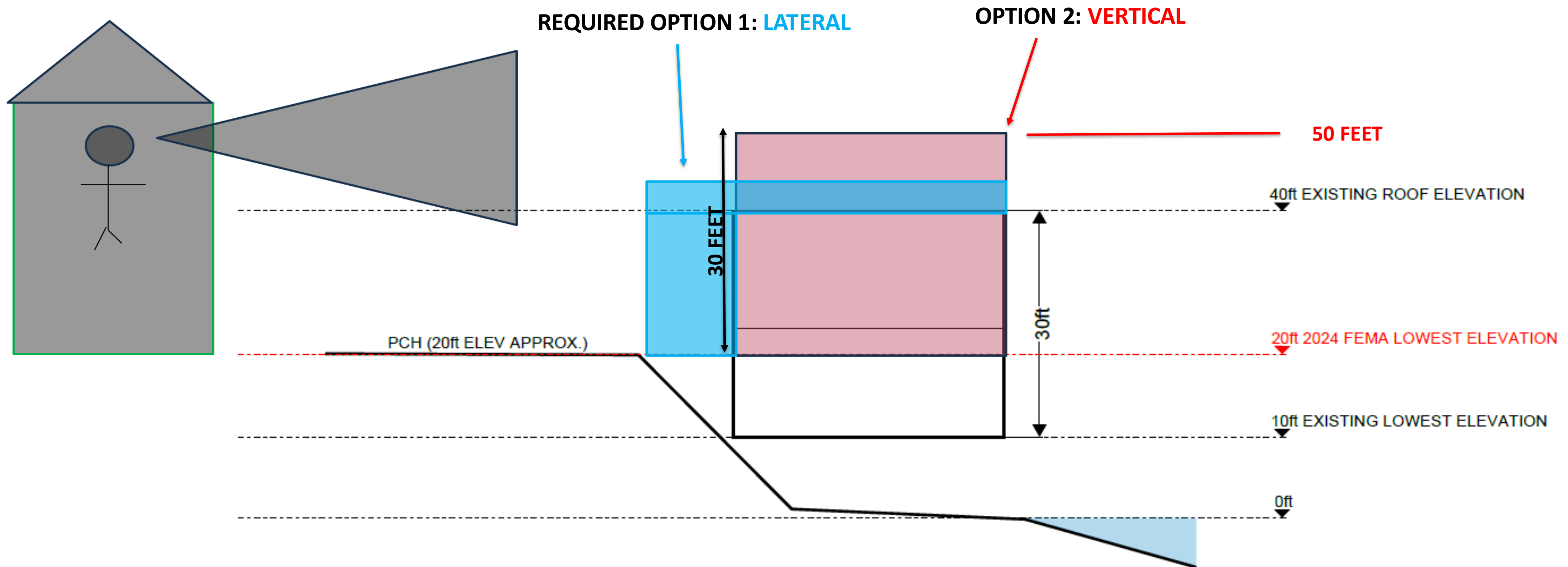
*CDP = Coastal Development Permit



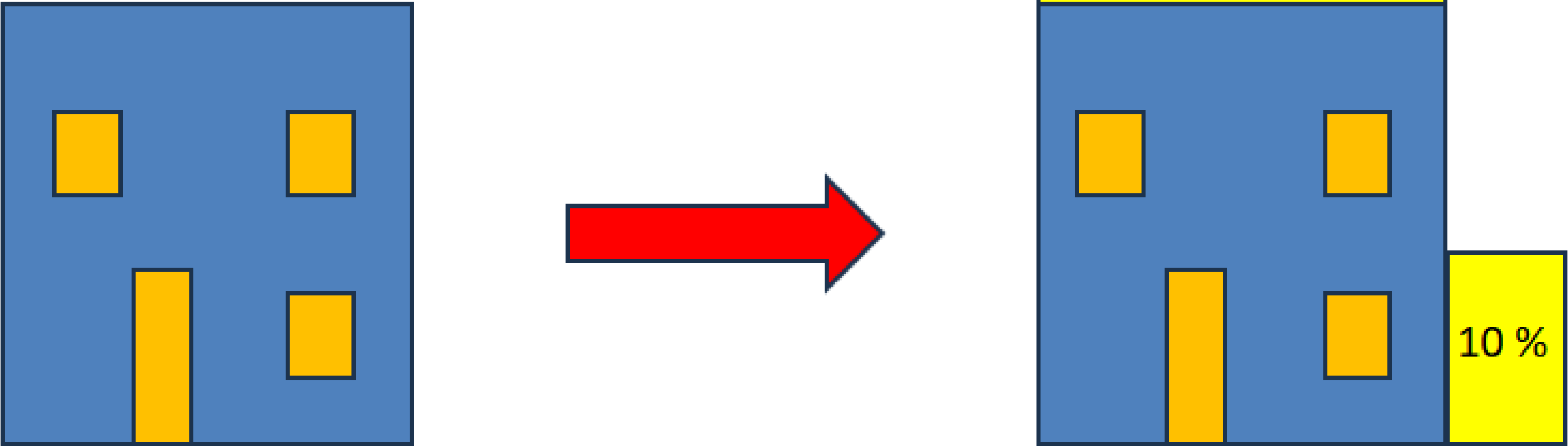
FEMA AND HEIGHT ELEVATIONS



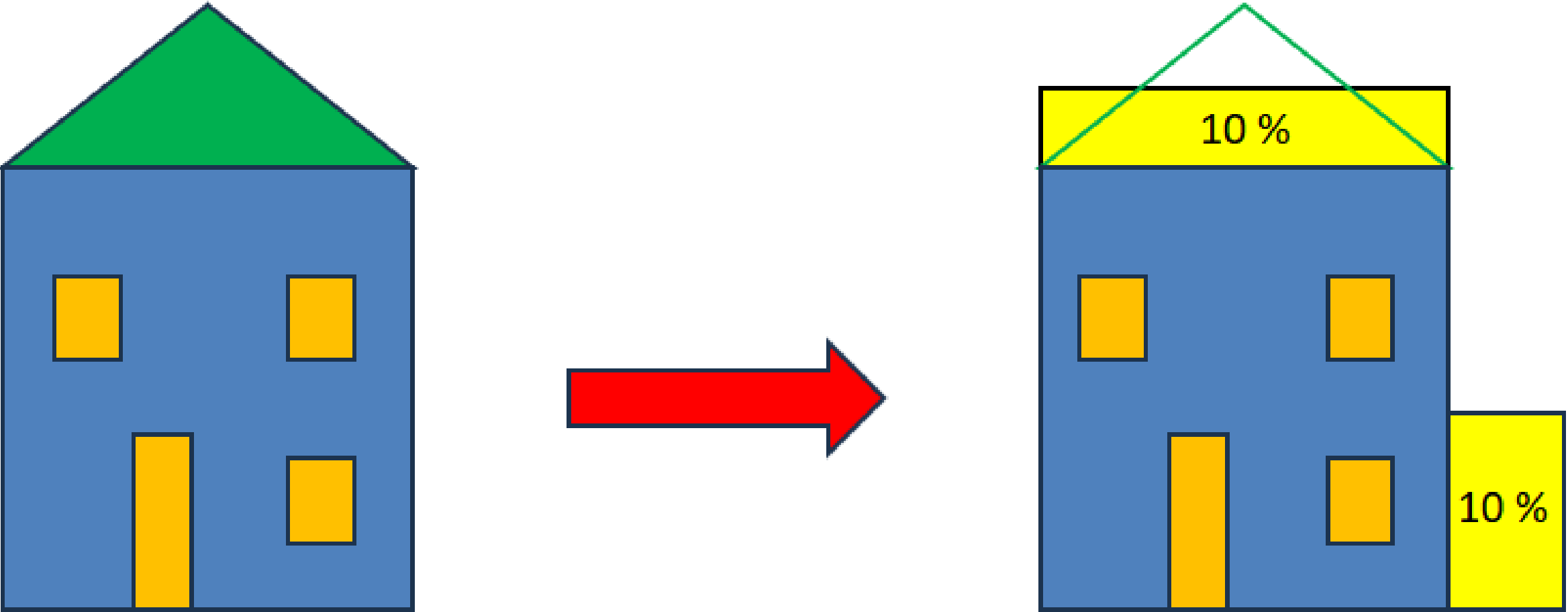
FEMA INCREASES



10% SQUARE FOOTAGE, HEIGHT, AND BULK



10% SQUARE FOOTAGE, HEIGHT, AND BULK



SEPTIC SYSTEMS (OWTS)

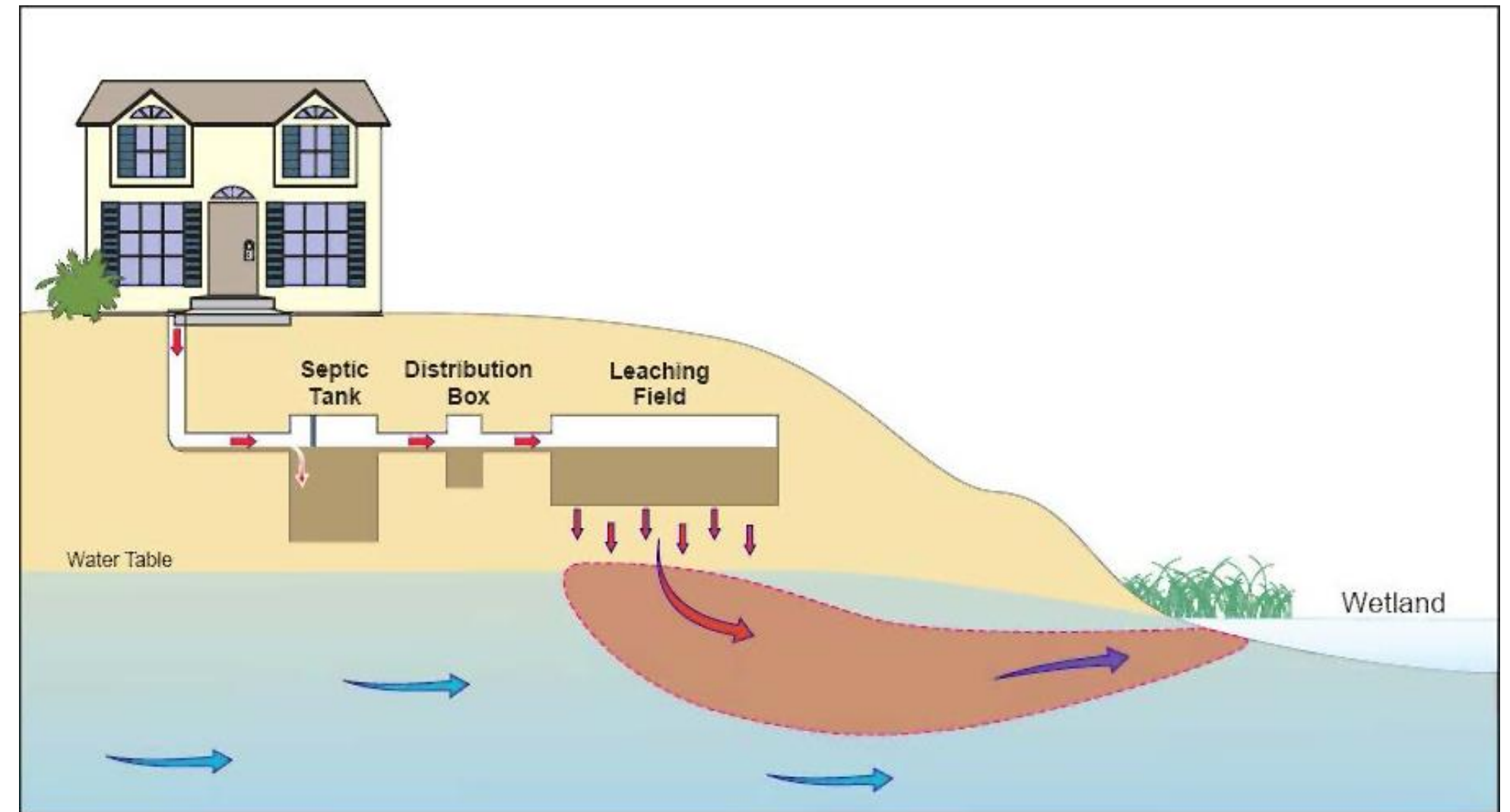


CURRENT BEACHFRONT OWTS CONDITIONS



BEACHFRONT OWTS

- Required use of supplemental treatment = advanced OWTS
- MMC 15.40.090, Local Agency Management Plan

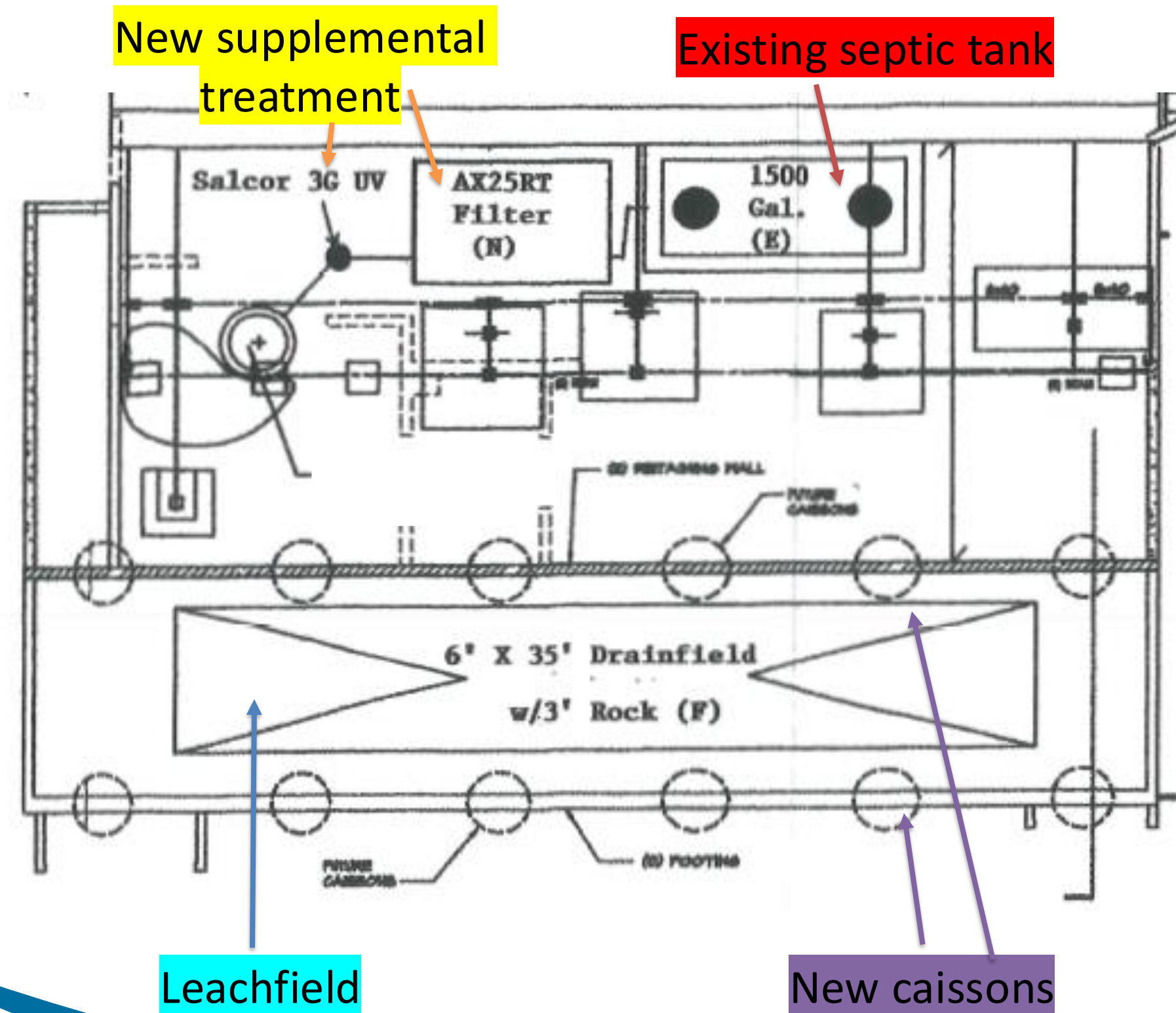


REUSE EXISTING OWTS?

- Advanced OWTS:
 - Meet current code requirements
 - Pass inspection by City-Registered OWTS Inspector
 - Is protection feasible?



REUSE EXISTING OWTS?



- Conventional OWTS:
 - May be able to use some components
 - Meet current code requirements
 - Pass inspection
 - Is protection feasible during construction?

SUBMITTAL REQUIREMENTS

Rebuild Development Permit (not CDP)

- OWTS Design Report = **City-Registered OWTS Designer**
- Soils Analysis/ Percolation/ Infiltration Report = **Geologist / OWTS Designer**
- Supporting Geology/ Soils Report = **Geologist**
- Coastal Engineering Report = **Coastal Engineer**



SEAWALLS



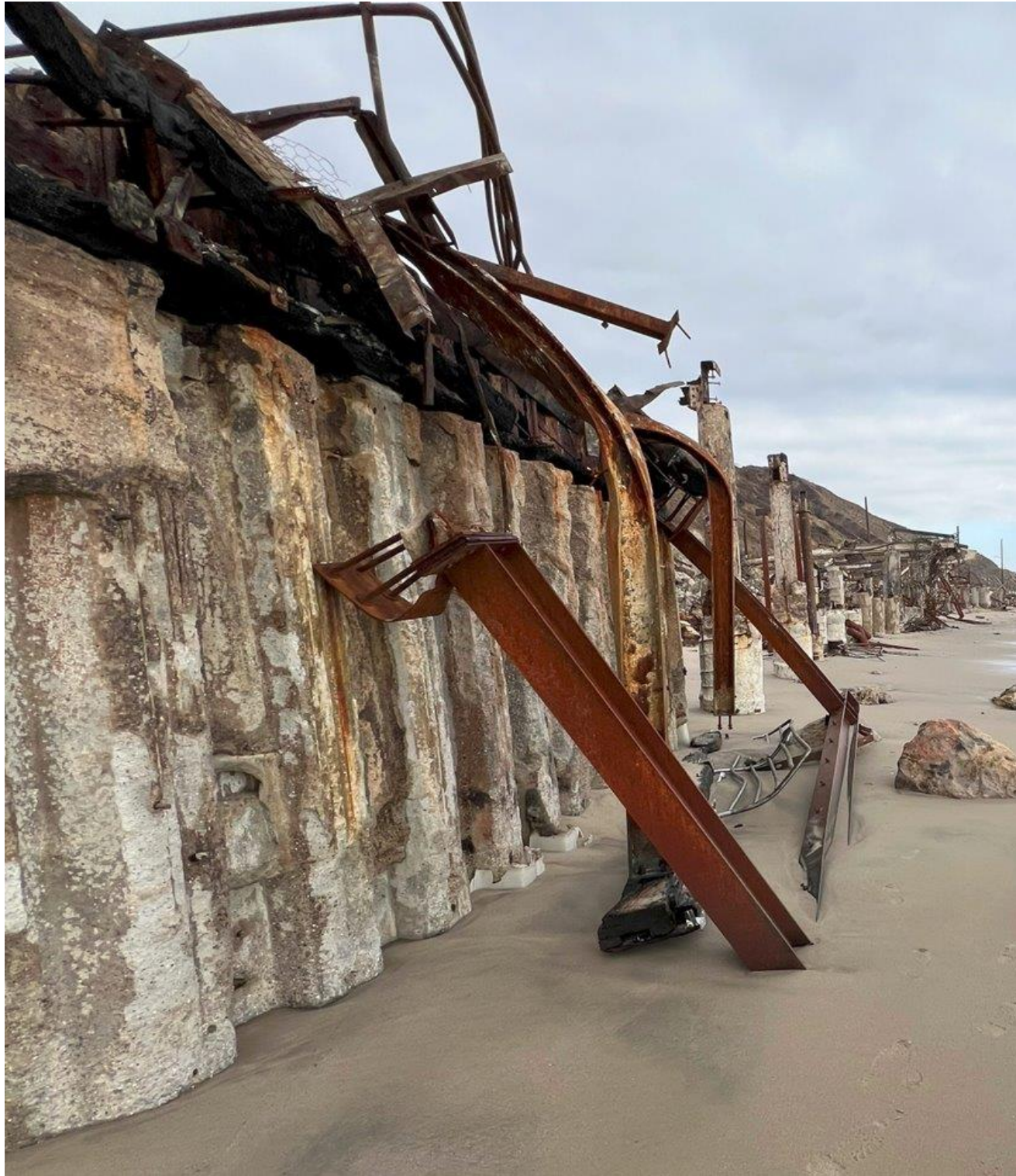
SEAWALLS

- Q1: Is it a seawall? Engineered and permitted.
- Q2: Is it structurally sound? Must be code conforming.
- Q3: Can it be repaired or rebuilt (or New)? No revetments.
- Step 1 - Define rebuild footprint.
- Step 2 - Define property boundary conditions. Are shoring, retaining or return walls required?
- Step 3 - Determine elevations (FEMA BFE and wave uprush)
- Step 4 – Optimize location of OWTS and seawall

SEAWALLS



SEAWALLS



SEAWALLS



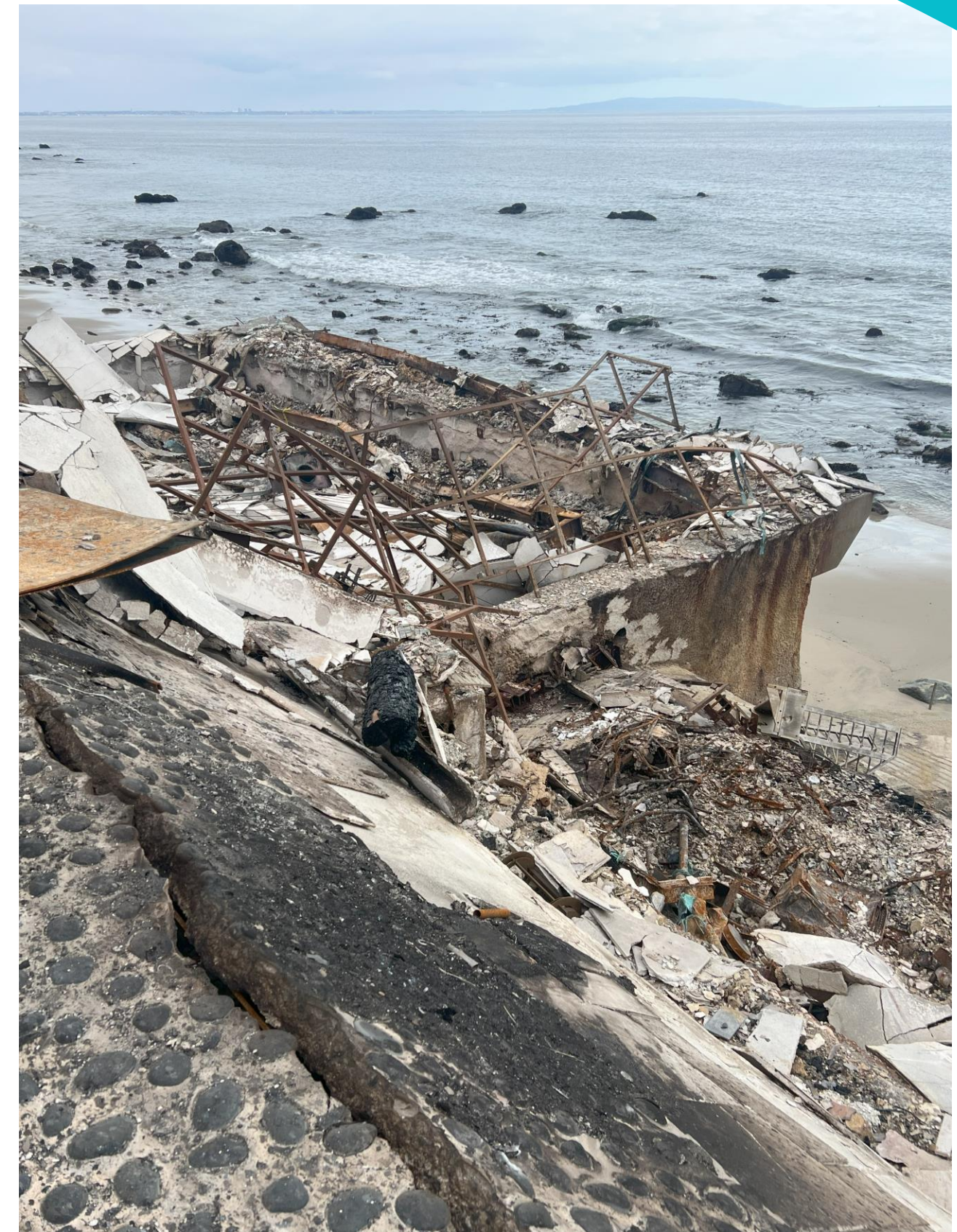
SEAWALLS



SEAWALLS



SEAWALLS



SEAWALLS SUBMITTAL REQUIREMENTS

- Structural Engineering Evaluation/Assessment = **Structural Engineer with Marine Experience (Seawall Re-Use/Repair)**
- Coastal Engineering Report = **Coastal Engineer**
- Geotechnical Report - Comprehensive = **Soils Engineer and Certified Engineering Geologist**
- **Multi-parcel geotechnical and coastal engineering reports are acceptable**



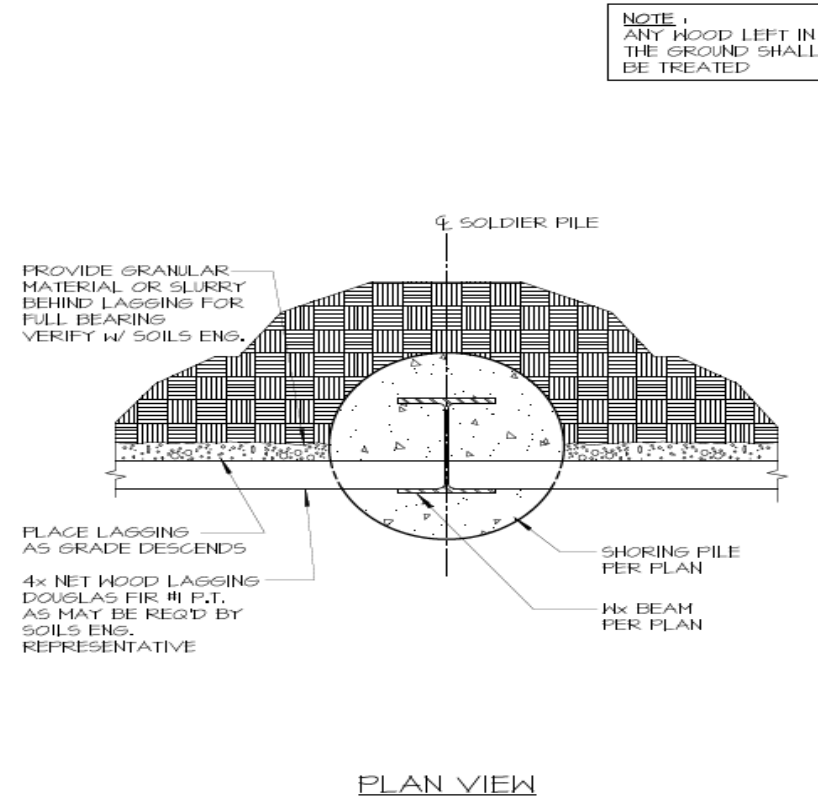
ISSUES TO BE ADDRESSED

- **Seismic Hazards:** Liquefaction and lateral spread must be mitigated
- **Malibu Coast Fault Zone:** Assumption of risk and release available if needed for PV in same footprint
- **Elevation of House & Seawall** wrt FEMA BFE and PCH
- **Optimizes Siting of OWTS & Seawall** first
- **PCH drainage and embankment support**
- **Constructability**



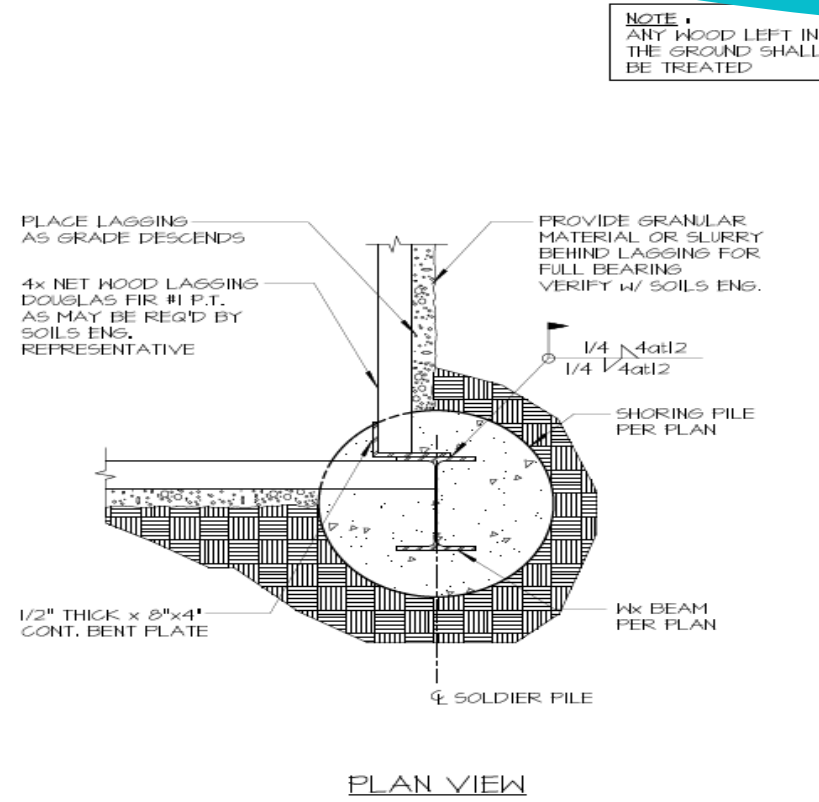
TEMPORARY SHORING





SHORING PILE DETAIL

3

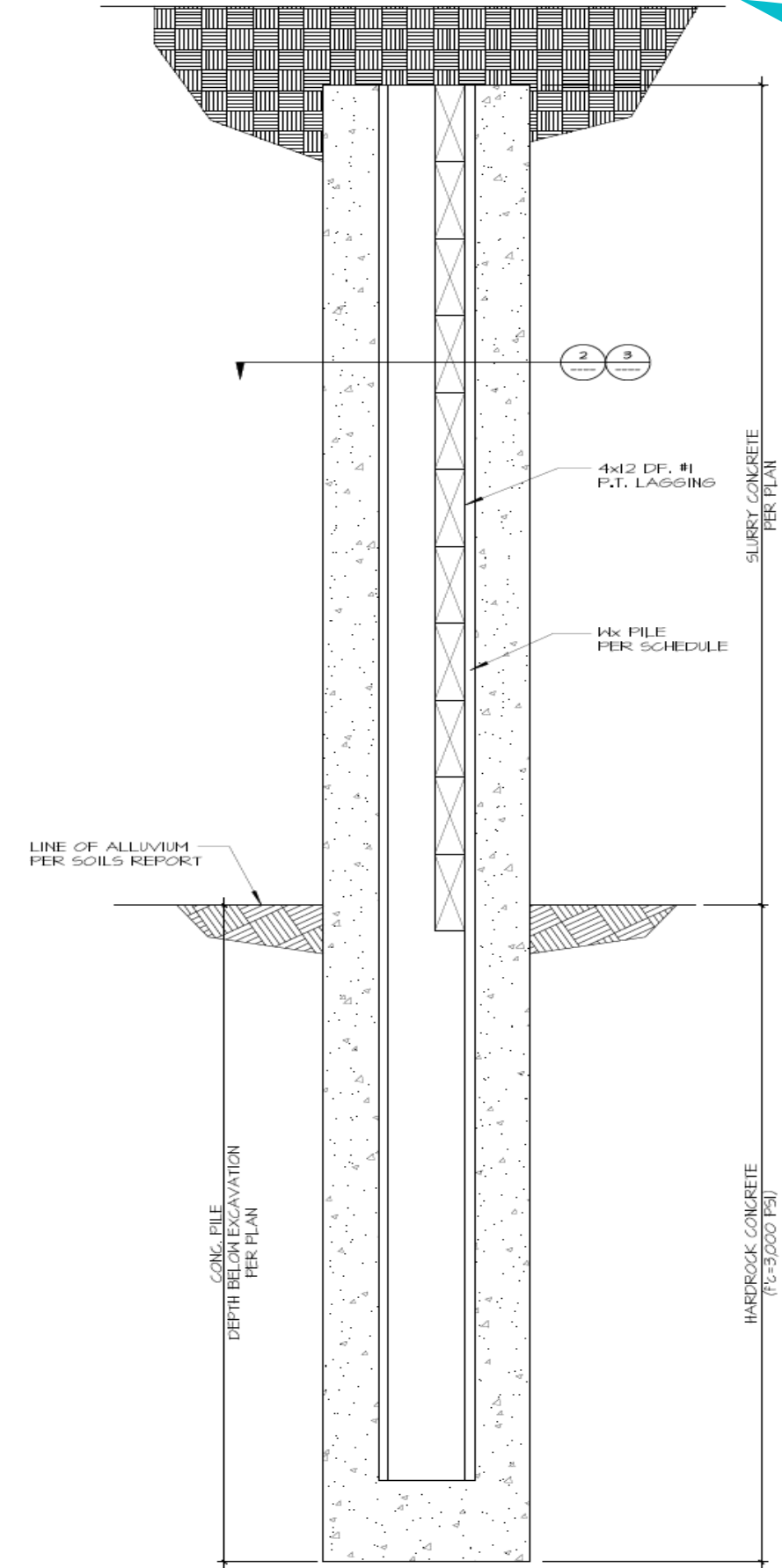


SHORING PILE DETAIL

2



5



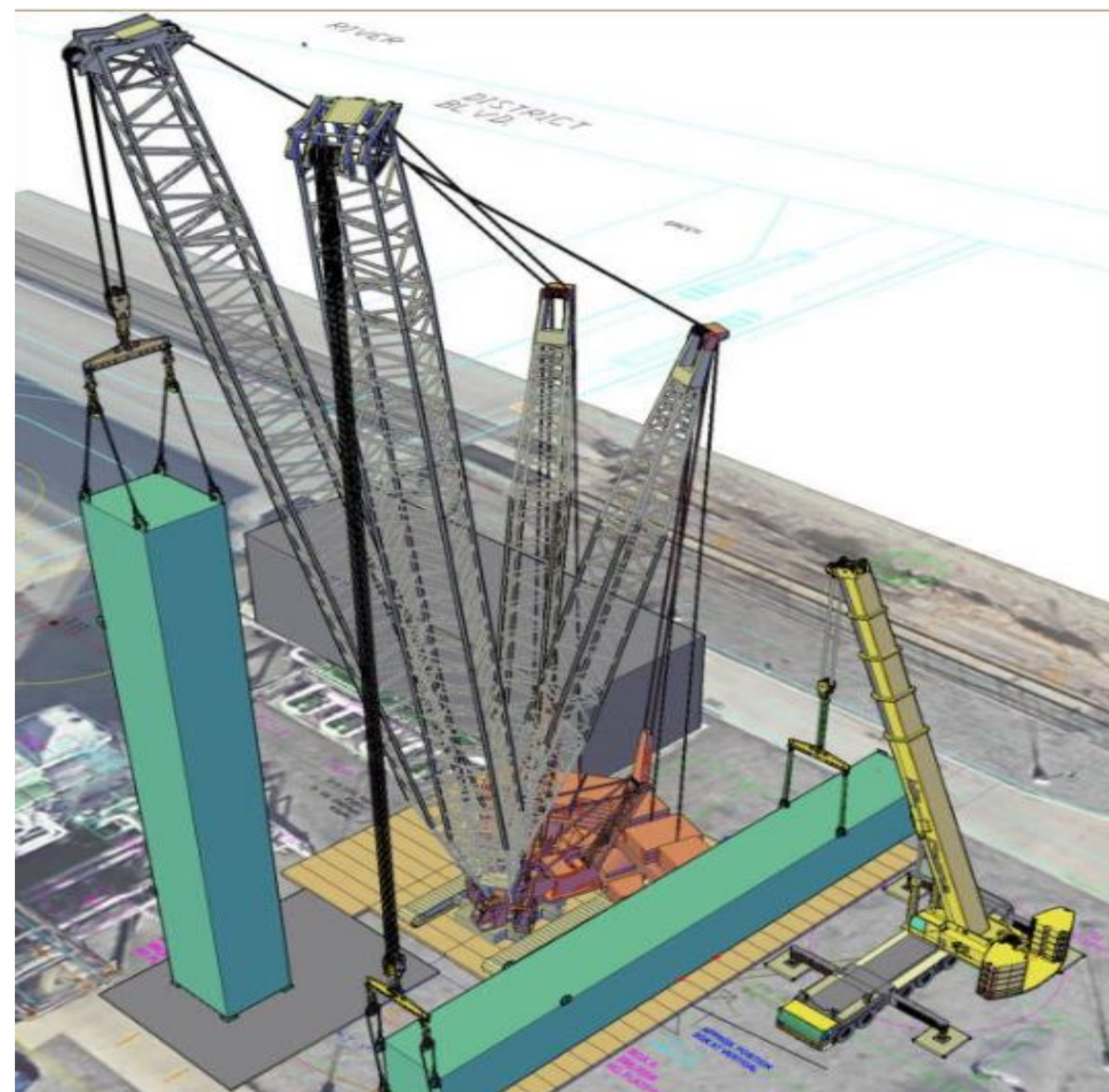
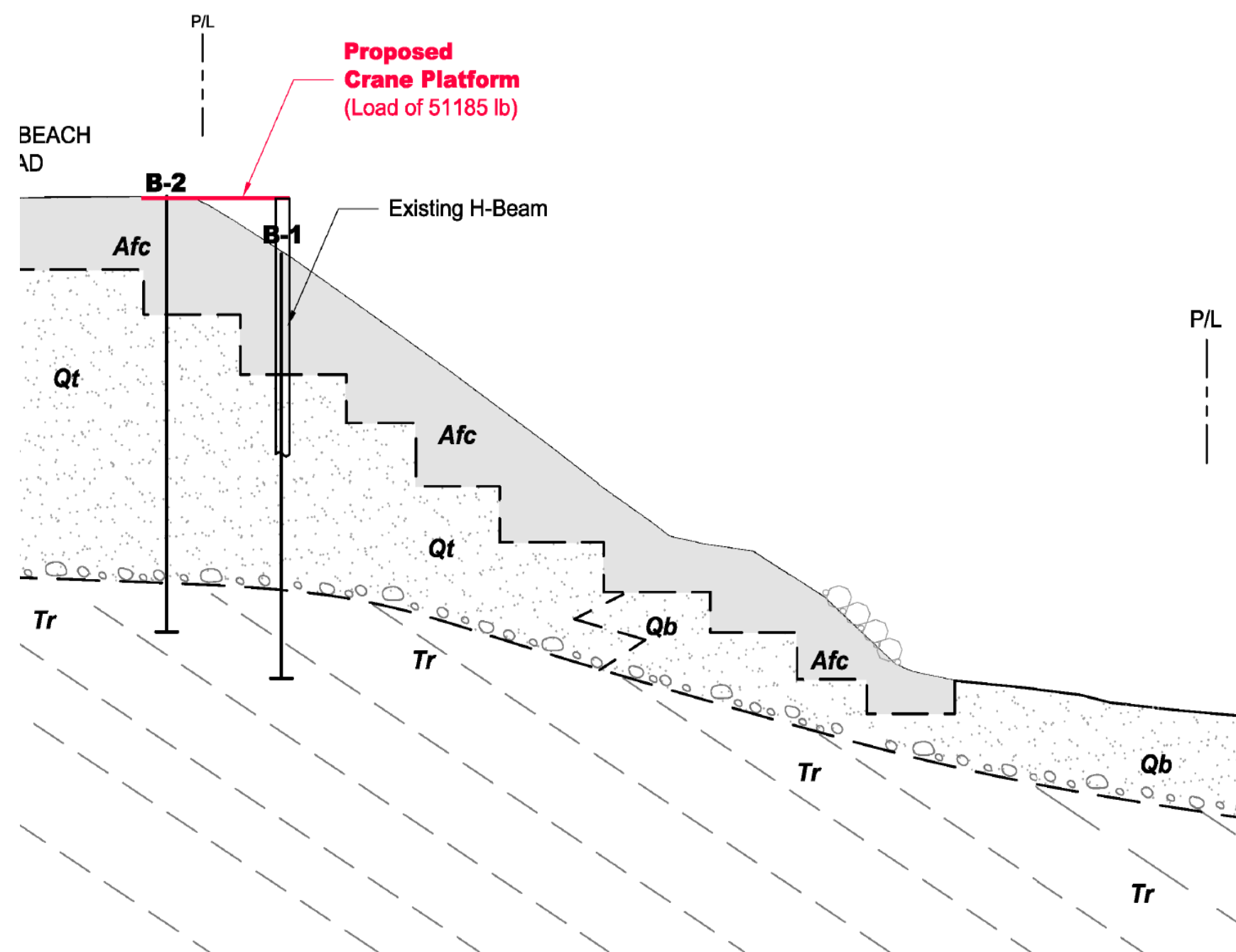
TYPICAL SHORING PILE



4

CONSTRUCTABILITY/CRANE PAD





EXCAVATION PERMITS/OSHA

- **Borings: GEOLOGIC/GEOTECHNICAL EXPLORATORY EXCAVATION BORINGS ONLY** will be exempted from permits for Broad, Franklin and Palisades fires rebuilds per the Building Official determination.
- **ALL CALOSHA EXCAVATION SAFETY REGULATIONS APPLY.** Excavations must be backfilled or secured.

Q&A SESSION



ONE-STOP SHOP REBUILD CENTER



MALIBU REBUILD CENTER - COME VISIT US!



23805 Stuart Ranch Road, Suite 240

- Located next to UCLA Health, across the first floor parking lot at Malibu City Hall



Open: Monday - Friday (8 am - 4 pm)

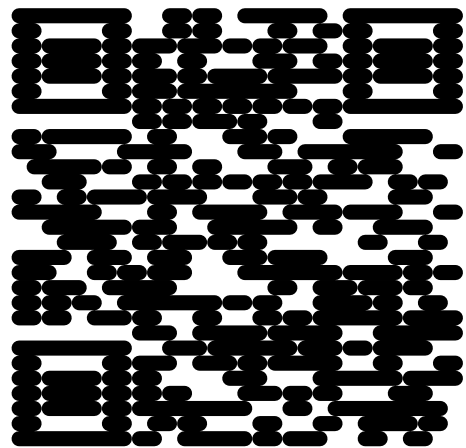


(310) 456 - 2489, ext. 400





STAY CONNECTED WITH THE CITY OF MALIBU

REBUILDING TOGETHER



maliburebuilds.org



REBUILDING ▾

DEBRIS REMOVAL

PREPAREDNESS ▾

RESOURCES ▾

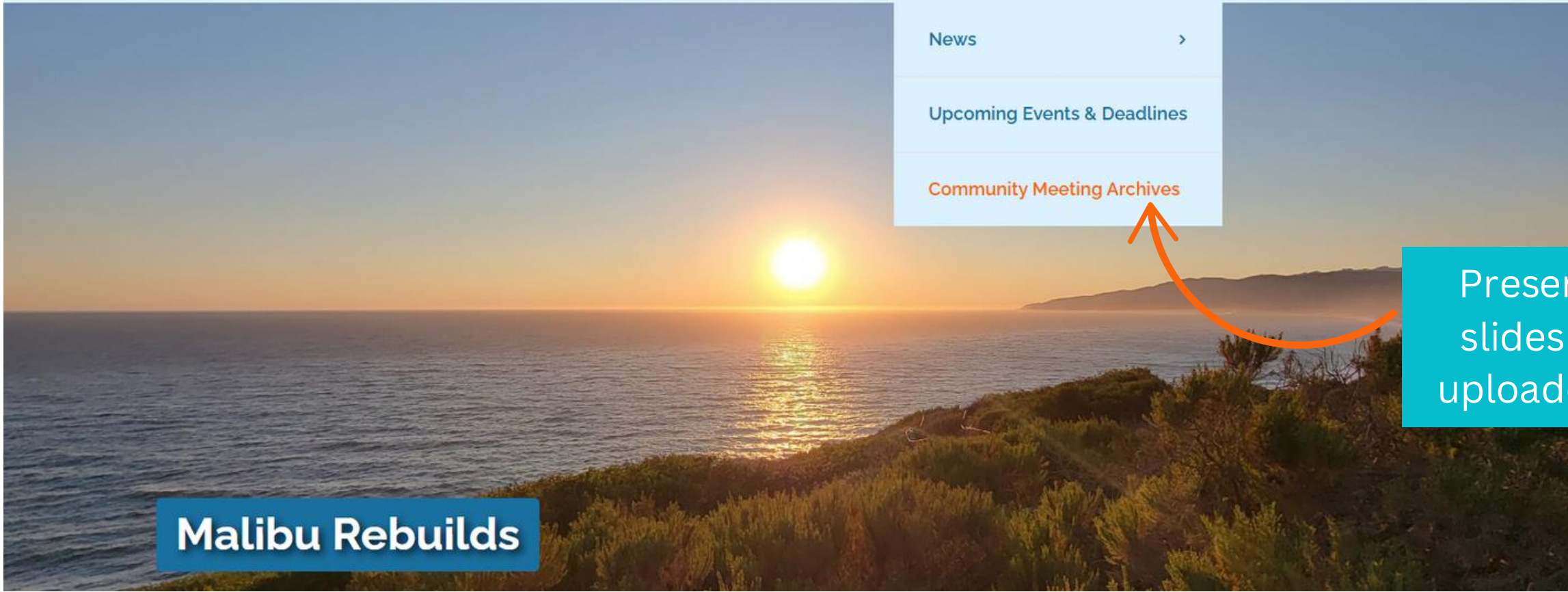
NEWS, EVENTS & DEADLINES ▾

News >

Upcoming Events & Deadlines

Community Meeting Archives

CONTACT OR VISIT US



Malibu Rebuilds

Presentation slides will be uploaded here!



UPCOMING COMMUNITY MEETINGS

March 25	BIG ROCK, CALLE DEL BARCO, ASSESSMENT DISTRICTS	4 p.m. at City Hall and via Zoom
April 1	RAMBLA PACIFICO, LA COSTA, LAS FLORES, PENA ROAD, 20717 TO 20759 PCH	4 p.m. at City Hall and via Zoom
April 8	CARBON CANYON, CARBON MESA & CARBON BEACH TERRACE	4 p.m. at City Hall and via Zoom
April 15	BEACHFRONT PROPERTIES	4 p.m. at City Hall and via Zoom
April 22	BROAD AND FRANKLIN FIRE CODE AMENDMENTS	4 p.m. at City Hall and via Zoom

