

**MALIBU  
REBUILDS**

**CITY OF MALIBU COMMUNITY MEETING SERIES**

**BIG ROCK, CALLE DEL BARCO NEIGHBORHOODS**

**4 PM TUESDAY, MARCH 25, 2025**

# BIG ROCK MESA

3/22/2025



Est. Eligible Parcels

**13,579**

ROEs Accepted from County

**6,769**

In Progress with Contractor

**6,769**

Final Sign Off

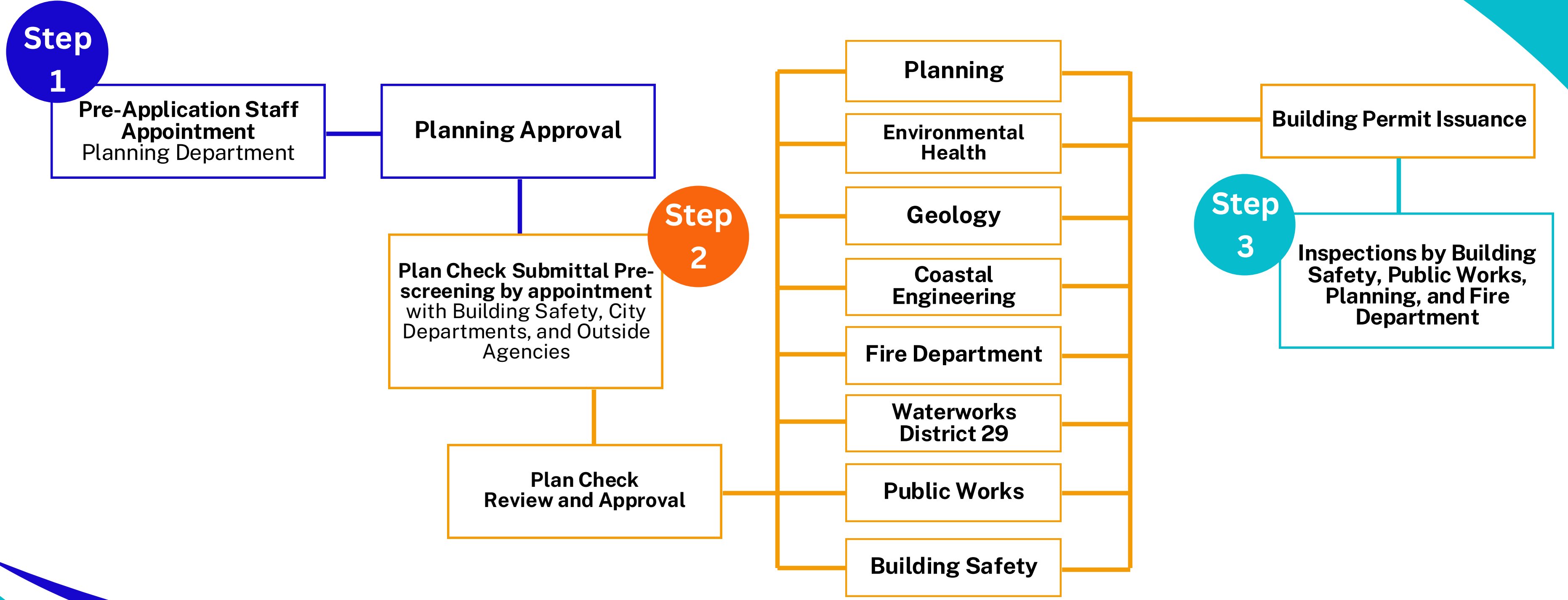
**761**

**6%**



Maxar, Microsoft

Powered by Esri



# STREAMLINING

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- Substantial relocation of existing homes will be considered (DMW\*)
- Geotechnical and Environmental Health pre-screen of PV\* to identify constraints
- Multi-Parcel geotechnical reports are acceptable
- Multi-Parcel topographic surveys are acceptable

**\*DMW= De Minimis Waiver**

**\*PV = Planning Verification**



# OVERLAY DISTRICT

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- Initiated by Public or Council
- Local Coastal Program Amendment
- Zoning Map Amendment
- Zoning Text Amendment
- General Plan Amendment (Possible)
- CEQA (Possible)



# SUBSTANTIAL RELOCATION



# GEOLOGY TOPICS

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- Landslide histories (Big Rock Mesa and Calle Del Barco)
- Building code requirements (like-for-like; like for like+10%)
  - Geotechnical
  - Environmental Health
- Issues for rebuilding in historically active or dormant/ancient landslides
- Geotechnical report requirements



# LANDSLIDE INVENTORY MAP



# LANDSLIDE HISTORIES

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- **Big Rock Mesa Landslide**
  - Reactivated 1983, moved several feet
  - County formed CI 2629 in 1983, Landslide Assessment District 1989, reauthorized 1998 (AD 98-1)
  - Some homes burned in the 1993 Malibu/Old Topanga Fire
  - 1992 Bing Yen & Associates, Inc. Report is most comprehensive study:
    - Prevailing FOS (1991) = 1.2 - 1.25 in most regions of the landslide
    - Maximum attainable FOS (w/sewering & dewatering) ~1.4
    - "Western Extension" stability dependent on main BRM stability



# BIG ROCK MESA LANDSLIDE



# LANDSLIDE HISTORIES

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- **Calle Del Barco Landslide**
  - Reactivated 1978 between Rambla Orienta and Calle Del Barco
  - County Improvement District (GHAD) mitigation measures included soldier piles and dewatering facilities
  - February 1998 Landslide and 1999-2000 "Access Restoration Project"
  - Landslide Assessment District reauthorized May 1998 (AD 98-2)
  - Larger/deeper ancient landslide creeps (wettest years or consecutive wet years)



# CALLE DEL BARCO LANDSLIDE



# LA COUNTY BUILDING CODE SECTION 110

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- 110.2 Geotechnical Hazards - specifically written decades ago to address landslides and other geotechnical hazards (excludes active faults).
- **Two main tenets regarding the effects of development:**
  - Impacts on property outside of the site of the proposed work (will the development activate/accelerate a geotechnically hazardous condition?) [110.2.1]
  - Impacts to the property itself (is the property subject to hazard of landslide, settlement or slippage?) [110.2.2]
- Section 110.2.3.6 will apply to most rebuilds on landslide areas and has clear requirements



# GEOTECHNICAL REPORT REQUIREMENTS

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- All reports require identification of hazards and risks, and findings and recommendations required by the Building Code.
- Signed by CA-licensed CEG and RCE/GE
- **Limited Report**
  - Mostly a "desktop" study but site should be observed
  - Might need minor testing for new foundations – depends on existing info
- **Comprehensive Report**
  - If required by site conditions or proposed project
  - Typically will involve some subsurface exploration and testing
  - May require analysis of local slope stability



# KEY ELEMENTS FOR REBUILDS

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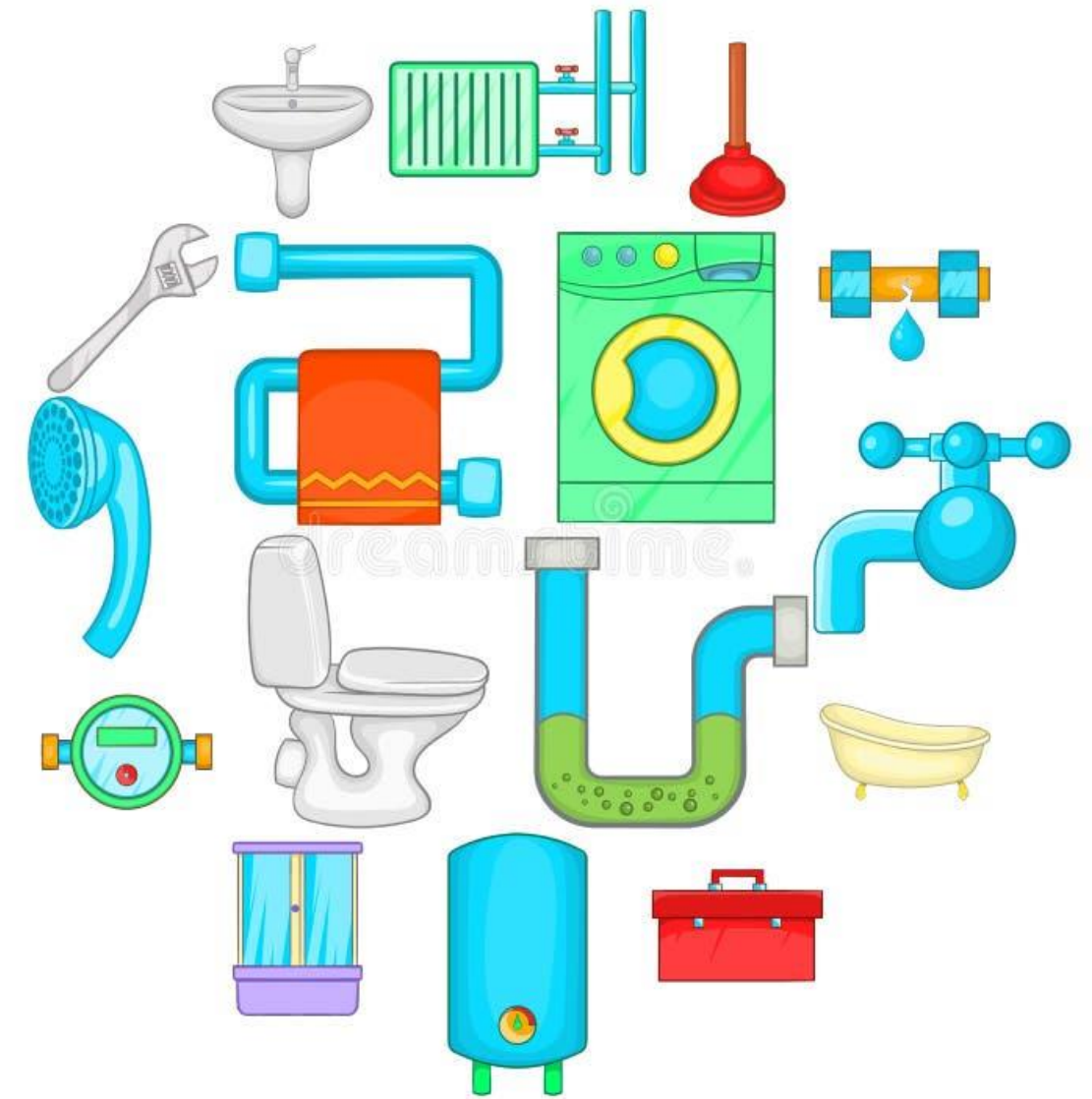
- Review of existing studies (Assessment District reports and previous geotechnical investigation reports)
- Drainage control
- Minimize water input
- Local slope stability (if consultants deem necessary)



# ENVIRONMENTAL HEALTH

LA County Building Code Section 110.2.3.6:

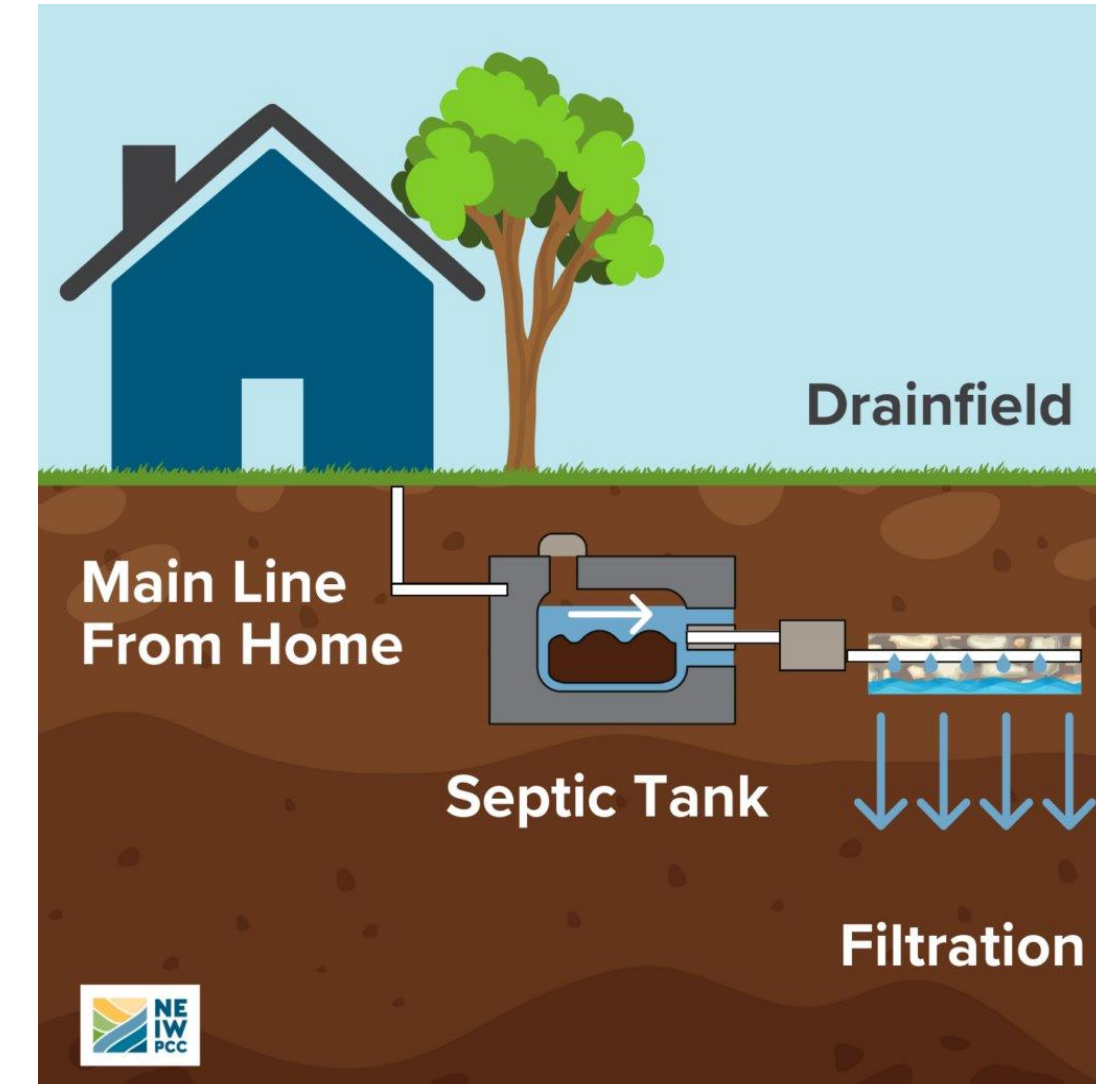
- The replacement structure(s) shall not exceed the... **number of fixtures and bedrooms** of the structure that was destroyed. No change in occupancy type shall be permitted.
- The replacement structure and septic system will not result in a greater amount of groundwater infiltration



# REBUILD STRUCTURE

The replacement structure(s) shall have the same permitted number of:

- Bedrooms
- Plumbing fixtures
- Plumbing fixture units
- Water closets = 6 drainage fixture units



# EH SUBMITTAL REQUIREMENTS

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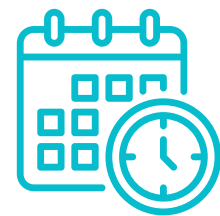
- Floor plans
- Fixture unit worksheet
- OWTS Fire Damage Assessment Form
- Site plan with location of OWTS and all structure



# MALIBU REBUILD CENTER - COME VISIT US!

 **23805 Stuart Ranch Road, Suite 240**

- Located across the parking lot from Malibu City Hall (next to UCLA Health)



**Open: Monday - Friday (8 am - 4 pm)**



**(310) 456 - 2489, ext. 400**

